



Buy-Wise Pre Purchase Building & Pest Inspections P/L

MAJOR STRUCTURAL BUILDING REPORT



Inspected Property Address:	5 Parkland Close Frankston	
Client Details:	Name: Sample	
	Address:	
	Phone:	Mobile:
	Email:	
	Client Attended Inspection: No	Contract Details: Major Structural Defect and Termite Infestation
Inspection Date & Time:	Monday, 1 February 2016 8:30:00 AM	
Building Consultant:	Peter Hearn DB-U12617	Phone: 9775 7188
Agent:	No agent	Phone:

This report may not be provided to or relied on by any person other than the client named above without the consent of Buywise.

PROPERTY DETAILS:

Building Type:	Residential House
Description:	Single Storey, Split level, 30-35 Squares of living, Garage, Deck, Pergola
Estimated Age:	25-30 years old
Foundation Type:	Concrete Strip Foundations, Concrete stumps
Walls External:	Brick veneer
Roof:	Metal tray roofing
Furniture:	Yes
Weather Condition:	Fine

ANY SPECIAL REQUIREMENTS REQUESTED BY CLIENT/REPRESENTATIVE REGARDING THE INSPECTION AND REPORT

(rising) damp / rising damp lower brick work in front entry

SUMMARY:

The areas inspected were structures and fences within 30 meters of the main building or within the boundaries of the site.

This report which was prepared in accordance with the Australian Standard AS 4349.1 2007 Inspection of Buildings Part 1 is not a certificate of compliance of the property and is not a warranty against problems developing with the building in the future.

The purpose of this inspection is to provide advice regarding the condition of the structure from a visual inspection. This inspection comprised a visual assessment of the properties structure to identify Major Structural Defects at the time of inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix A AS4349.1-2007.

Minor defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering and general deterioration, unevenness. It is expected that defects of this type would be rectified as part of normal ongoing property maintenance.

If any estimates are provided by Buy-Wise of the costs of works or repairs, then these are merely opinions that are not required by the Australian Standard 4349.1 2007 inspection of buildings and should be taken as a general guide only. The client should obtain independent quotations on any significant item from several contractors prior to purchasing the inspected property.

This summary must be read in conjunction with the full report and cannot be relied on its own. Some areas of concern are listed below and recommendations regarding the property.

This report does not include the identification of unauthorized building work or work not compliant with current building regulations. Building regulations are updated regularly so it is important to investigate all aspects of the dwelling, so you are well informed even if dwelling is in its original state since constructed.

All electrical and gas appliances should be tested just before you gain possession during your final inspection of the property to ascertain if are still operating. All appliances should be serviced annually.

Additional photos have been added to the report, these are optional and not related to Major Structural Defects and only Minor Defects. It is recommended that you attend the property and look over these areas, or look over these photos in report and have relevant trades comment on cost of repairs or if to current standards.

Most aspects of the residence are in fair to good condition with some maintenance and repairs required

In my opinion the dwelling appears structurally sound at the time of inspection from a visual inspection but should only be reported on by a structural engineer

Some structures around the dwelling may require repair to improve the structural integrity, further investigation required.

This is in relation to the rear deck

Minor movement was noted to internal ceilings in areas at time of inspection

Minor movement was noted to internal and external walls and should be monitored, any movement can only be commented on by a structural engineer to determine the likelihood of further movement

The incidence of movement at time of inspection to internal/external walls compared to other dwellings of similar age and type of construction is considered AVERAGE. This does not mean that further movement will not occur in the future.

It is always recommended that a soil test with structural engineers report investigate and determine the significance of any cracking/movement to walls, we are unable to determine the significance of the cracking inside a Pre Purchase Visual Inspection as the main cause for movement has to do with the soil conditions under the foundations of the dwelling. Even if movement appears to be minor at time of inspection can increase over time due to changing soil conditions.

Poor drainage near dwelling and large trees with in 50 meters can cause problems to the soil under foundations and continue to do so for many years. The ground around foundations should slope away from dwelling and moisture content of soil unchanged through all seasons.

Some doors and windows require adjustment in areas and is due to minor movement or settlement to timber framing or foundations, this is generally part of ongoing maintenance to the dwelling

Most of the maintenance and repairs required are to the external areas of the dwelling

A comparison of this and other dwellings of similar age, construction and level of maintenance which is in reasonable condition having been adequately maintained over the life of the building would rate this building as about AVERAGE condition.

Some safety items are listed in this report but can not be totally relied upon regarding all safety requirements

External additions have been built to the dwelling since it was constructed and should be checked with your local council to ascertain if a permit was required.

We are unable to confirm that final approvals have been issued for any additions or improvements on the property. The status of such approvals should be established at the appropriate local authority.

There was no active termite barrier to stop termites from entering the dwelling, there are a number of conditions conducive to termite attack so this is highly recommended when you gain possession

AREAS NOT INSPECTED:

AREAS NOT ACCESSIBLE FOR INSPECTION WERE: No Inspection was made of concealed frame timbers or any areas concealed by wall linings/ sidings, soil,

landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/ posts or any other obstructions to visual inspection.

Limited access in roof space due to low clearance, area was not thoroughly inspected

Limited access to under floor space due to clearance and ducting in areas, ducting will require removal and soil for these areas to be inspected and should be done prior to purchase

OTHER INSPECTIONS & REPORTS RECOMMENDED BEFORE PURCHASE:

It is strongly recommended that the following Inspections and Reports be obtained prior to any decision to purchase the property, so that the purchaser can be well equipped to make an informed decision. These Inspections and Reports fall outside the guidelines for a Standard Property Report as specified in AS4349.1-2007 and are excluded from this report.

- | | | |
|--|---|--|
| <input type="checkbox"/> Airconditioning inspection | <input type="checkbox"/> Alarm/Intercom/Data Systems | <input type="checkbox"/> Appliance Inspection |
| <input type="checkbox"/> Asbestos Inspection | <input type="checkbox"/> Common Property Inspection | <input checked="" type="checkbox"/> Council Inspection |
| <input type="checkbox"/> Drainage Inspection | <input type="checkbox"/> Durability of Exposed Surfaces | <input checked="" type="checkbox"/> Electrical Inspection |
| <input type="checkbox"/> Estimating Inspection | <input type="checkbox"/> Fire/Chimney Inspection | <input type="checkbox"/> Foundation Inspection |
| <input type="checkbox"/> Garage Door Mechanical | <input type="checkbox"/> Gasfitting Inspection | <input type="checkbox"/> Geotechnical Inspection (soil report) |
| <input type="checkbox"/> Hazards Inspection | <input type="checkbox"/> Hydraulics Inspection | <input type="checkbox"/> Mechanical Inspection |
| <input type="checkbox"/> Mould Inspection | <input checked="" type="checkbox"/> Plumbing Inspection | <input type="checkbox"/> Roof Inspection (due to limited access) |
| <input type="checkbox"/> Roof inspection, (due to no access) | <input checked="" type="checkbox"/> Structural (Engineer) | <input checked="" type="checkbox"/> Sub Floor (due to access being restricted) |
| <input type="checkbox"/> Sub Floor (due to no access) | <input type="checkbox"/> Swimming Pool or Spa Inspection | <input type="checkbox"/> Timber Pest Inspection |
| <input type="checkbox"/> Waterproofing/wet area inspection | | |

INSPECTION DETAILS

Entry/ Hallway

Comments	Smoke detection is fitted, however the positioning, operation or adequacy was not tested and is not commented on No smoke detector fitted out side bedroom 1, this is a current council requirement and should be rectified for your own safety
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Master Bedroom

Comments	No smoke detector fitted out side bedroom, this is a current council requirement and should be rectified for your own safety
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Bedroom 3

Floors

Squeaking noise is from plywood flooring, existing nailing and glue is most likely insufficient so extra nails or screws are required, carpet will require removal to do this



Lounge

Ceilings

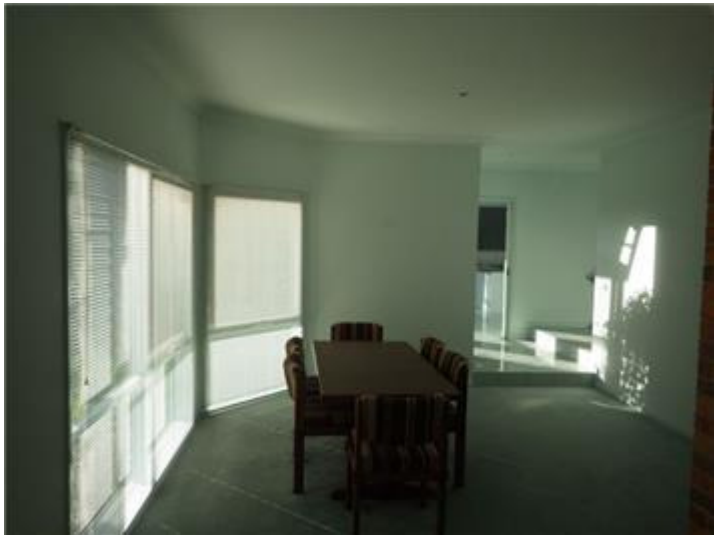
Water mark noted and moisture recorded, requires further investigation
Most likely from rodents, treatment required



Internal rooms

Comments

No major structural defects noted to these rooms, only minor defects



Family

Walls

Minor movement noted in areas



Meals

Ceilings

Minor movement noted between plaster sheets at join, minor repairs required and is unknown if they will return

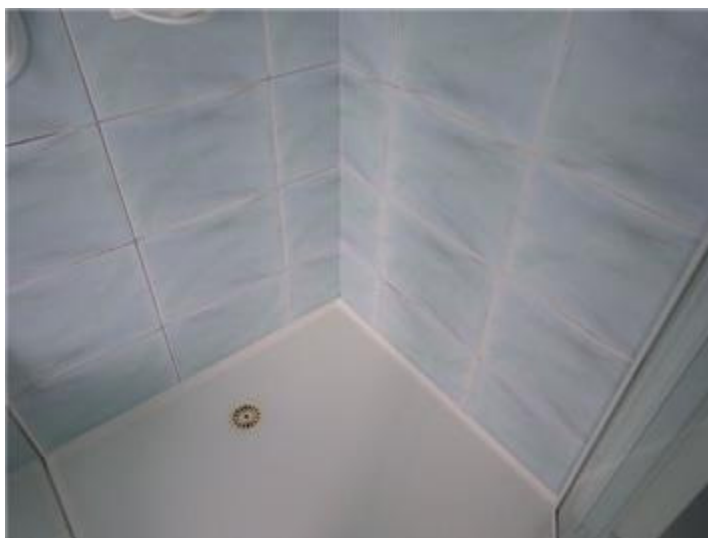
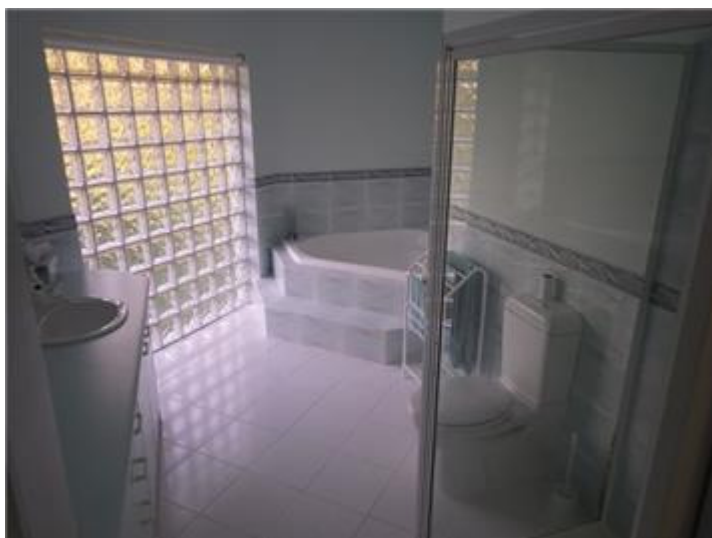


Ensuite

Wall tiles

High moisture recorded behind tiles of shower, this is a very common problem and can cause tiles to dislodge over time and depends on what adhesive was used and how well applied
 High moisture was also recorded to tiles next to shower enclosure, this will continue if tiles are not sealed or possible leaks fixed

Tiles and grout should be well dried and then sealed in shower, this is to manufactures recommendations. The sealer is clear and can not be seen once dry Cost \$200



Ensuite bedroom 2

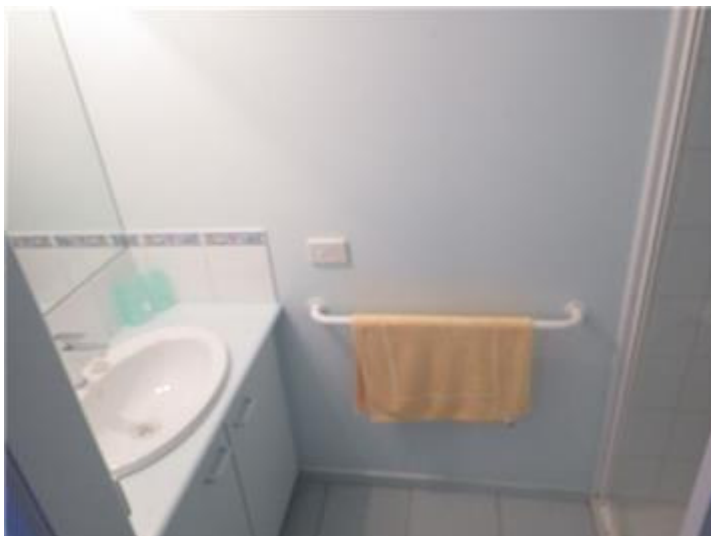
Vanity Unit

Water damage noted to shelves under basin, waste has been leaking and may require attention



Wall tiles

No high moisture was recorded in or out side shower enclosure at time of inspection
Shower may not have been used for some time so can not be totally relied upon regarding leaks or defects



Bathroom

Wall tiles

High moisture recorded behind bottom row of tiles of shower, this is a very common problem and can cause tiles to dislodge from wall over time and depends on what tile adhesive was used and how well applied
No high moisture was recorded out side shower enclosure at time of inspection
Cracked tiles noted around bath

Tiles and grout should be well dried and then sealed in shower, this is to manufactures recommendations. The sealer is clear and can not be seen once dry Cost \$200



Roof Space

Insulation

Blow-in insulation on ceilings

The insulation cover over ceilings is a minimum of 2.0 R rating insulation

All down lights should be clear of insulation as they can generate enough heat for insulation to smoulder, they should be 200mm clear from any combustible material

Cardboard around 12 volt down lights is not a current approved surround on its own



Sisalation/Sarking

Appears to be in good condition

Some leaks noted at ridge line of roofing, plumber to investigate further



Type of roof structure

Pine trussed roof

The roof structure appears to be satisfactory in accessible areas

You would need to check manufactures specifications and computations to tell if trusses have been installed and designed properly, this should have been assessed when building surveyor performed mandatory frame inspection

As the roof structure is a trussed roof, there is usually no roof weight bearing down on to any internal walls so alterations to walls can be easily made. All the roof weight is transferred to external walls. Consult a builder before any works are carried out.



Services

Drainage

Surface water drainage requires improving at front, agi drain required at front of dwelling, Estimated cost \$4000
Plumber to quote properly
High moisture was noted to walls up to damp course level only
The ground around the dwelling should be kept consistently dry all year.

The retention of water from surface run off could have an affect on the foundation material which in turn could affect the footings to the dwelling.
Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the dwelling or to storm water pipes by a licensed plumber/drainier.

Unable to comment on storm water or sewer pipes under ground, a licensed plumber can only report on these areas



Comments

All services to be assessed by relevant trades, plumbers and electricians for compliance and if working efficiently.
No guarantee is given on the condition of appliances, we are not experts in this field

Unable to open meter box



Under Floor Space

Stumps

The concrete stumps appear to be in good condition from a visual inspection and floor levels were fairly consistent. Some settlement has occurred to concrete stumps in areas, this is quite normal for a house of this age and type of construction but should be monitored.



Ventilation

Ground was damp in areas and requires attention

Evidence of fungal growth was noted on ground, ventilation should be improved to external walls as this can be a health issue

Surface drainage will require improving around dwelling and would be contributing to the damp conditions, plumber to assess.

Water trail noted across the dwelling coming from a pipe under laundry area, plumber to assess



Comments

No access under bedroom 2-3 area and bedroom 1 ensuite
Very low clearance and ducting

External Appraisal

Fascia/Barge boards

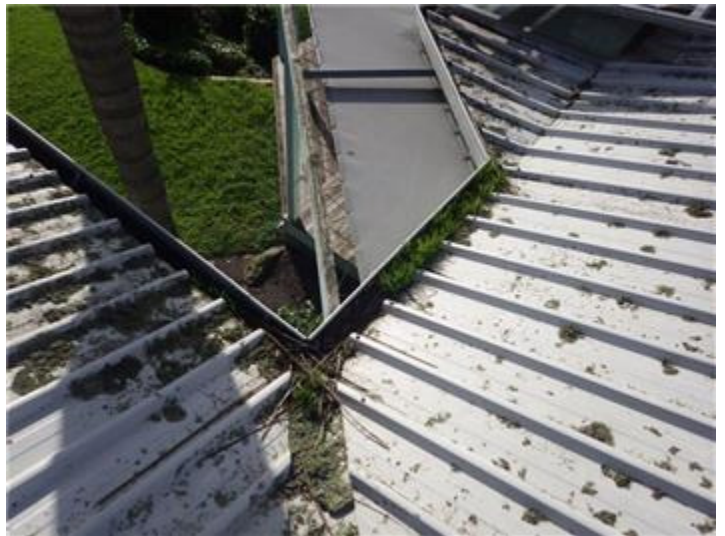
Water marks and damage noted to cement sheet eaves in areas, this usually means that gutters have over flowed, plumber required to evaluate



Gutters

Urgent cleaning of gutters is required as water can run over the back of guttering and enter the wall cavity

Leak noted at front right, plumber required to evaluate



Painting

Painting required to some external timbers to protect them from further deterioration



Roof Coverings	<p>Moss noted to areas of roofing, this can cause leaks and should be removed by pressure cleaning. Estimated costs can vary between \$500 - \$1000 depending on if safety rail required and time taken to remove moss</p> <p>Some surface rust noted around sky light and should be protected</p> <p>Some leaks noted at ridge line of roofing, see roof space comments</p> <p>Plumber required to evaluate further regarding condition of roofing and cost of repairs</p>
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Walls	<p>Minor movement noted in areas around dwelling and should be monitored</p> <p>The amount of movement is slightly below average with other dwellings of the same type and age but this does not mean that they are not increasing and should be monitored</p> <p>If you are concerned about movement increasing in size or further movement to the dwelling then a geotechnical report (soil report) will have to be commissioned. It is unrealistic for us to comment on conditions that can not be determined from a visual inspection, in other words what is happening under the dwellings foundations.</p> <p>Where drainage or gutter/downpipe problems exist around a dwelling, these can have an affect on the dwellings foundations due to changing soil conditions</p> <p>Where trees are to close to the dwelling this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to trees. large trees have been known to affect house foundations up to 1.5 times their height.</p> <p>High moisture was recorded to front brickwork under the damp course level not above</p> <p>See drainage notes</p>
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General Exterior

Decks	<p>Balustrade wire requires tensioning so a gap of more than 125mm can not be achieved, this is for safety reasons</p> <p>There were a number of areas where timber bearers were not supported properly to rear deck, either additional stumps or metal brackets required, last 4 pictures</p> <p>Estimated cost \$2000 Major Structural Defect</p> <p>Proper quotes should be obtained</p> <p>Unknown if a permit was issued for this structure and should be checked at local council, if not then a 137B owner builder report should be commissioned to ascertain if fully complies to current standards and regulations.</p> <p>Timber joists have some rot and is due to being exposed to the weather, they should be protected or will require replacement in the near future</p> <p>A flashing should be installed over all exposed timbers, this will protect them from rot as they are exposed to the weather</p>
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Pergola

Uncovered timbers have a limited life due to being exposed to the weather, they should be protected



Stairs

Rot noted to timber treads and will require replacing



Comments

Tree stumps around dwelling should be test drilled for termites or removed



Garage

Comments

Dampness noted to brickwork in areas and is due to soil being to high against walls, see drainage and ventilation notes

Mortar appeared weak due to long periods of moisture

An agi drain could be installed behind brick wall to stop any moisture coming through walls



DEFINITIONS:

A Major Defect is a defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

A Structural Defect is a fault or deviation from the intended structural performance of a building element.

Minor Defects: A defect other than a major defect

Defect: Fault or deviation from the intended condition of a material, assembly or component

Structural Element: Physically distinguishable part of a structure

Example - wall, column, beam, support, connection

Building Element: Portion of a building that, by itself or in combination with other parts, fulfils a characteristic function

Example - Supporting, enclosing, furnishing or servicing building space

Thank you for selecting our firm to do your pre-purchase home inspection. Please feel free to contact the inspector who carried out the inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report on 9775 7188.

Yours sincerely,



Peter Hearn
Director
Buy-Wise Inspections

IMPORTANT ADVICE, INFORMATION & LIMITATIONS

ASBESTOS DISCLAIMER: Inspection of asbestos was not carried out at the property and a report of the presence or absence of asbestos is not provided. If during the course of the inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the general remarks section of the report. Buildings constructed prior to 1982 may have installed wall, ceiling, eaves, roofings and or fence sheeting and other products containing asbestos. Even buildings built up until the early 90's may contain some asbestos. Asbestos sheeting should be sealed.

If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and the importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing asbestos is a high risk to people's health. You should seek advice from a qualified asbestos removal expert.

GLASS CAUTION: Glazing in some buildings (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panels in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

Mould (Mildew and Non-Wood Decay Fungi) Disclaimer: Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the time of inspection and no report on the presence or absence of Mould is provided. If in the course of the Inspection, Mould happened to be noticed it may be noted in the Additional Comments section of the report. If Mould is present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or qualified expert such as an Industry Hygienist.

Trees:Where trees are too close to the house this could affect the performance of the foundation as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

Surface Water Drainage:The retention of water from surface run off could have an effect on the ground which in turn could affect the foundations of the dwelling. Best practice is to monitor the flow of surface water and storm water run off and have the water directed away from the dwelling or connected to storm water pipes by a licensed plumber/drainier.

Swimming Pools:Swimming Pools/Spas are not part of the Standard Building Report under AS 4349.1-2007 and are not covered by this report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in fines for non compliance under the legislation.

Septic Tanks and Treatment Plants:All Septic Tank Sewer Systems and Treatment Plants should be inspected by a licensed plumber as this is not reported on in this Inspection Report.

Estimating Disclaimer:Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

BASIS OF A STRUCTURAL BUILDING INSPECTION REPORT

The Customer engages Buy Wise to perform a visual Structural Property Inspection in accordance with AS4349.1-2007 Pre Purchase Structural Inspection - Appendix A, and to provide a written report ("Report") to the Customer.

APPENDIX A – Pre Purchase Structural Inspection – AS4349.1-2007

1. GENERAL
- Where a pre-purchase inspection is limited to assessment of the structure of the property, the requirements of this Appendix shall apply in preference to the relevant requirements of Sections 2, 3 and 4. Where no requirements are stated in this Appendix, the relevant requirements of Sections 2, 3 and 4 shall apply.
2. PURPOSE OF INSPECTION
- The purpose of the Inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the structure of the property.
3. SCOPE OF INSPECTION
- The inspection shall comprise visual assessment of accessible areas of the property to identify major defects to the building structure and to form an opinion regarding the general condition of the structure of the property.
The structural report should not contain any assessment or an opinion regarding the following:
- Any non-structural element, eg. Roof plumbing and roof covering, general gas, water and sanitary plumbing, electrical wiring, partition walls, cabinetry, windows, doors, trims, fencing, minor structures, non-structural damp issues, ceiling linings, floor coverings, decorative finishes such as plastering, painting, tiling, etc

○ An assessment of any aspect or component of the property that cannot be seen or that requires testing and/or measurement to determine soundness.

○ Any area or item that was not, or could not be, observed by the inspector.

○ General maintenance other than that which is deemed to be directly related to the ongoing structural performance of the property.

○ Serviceability damp defects such as condensation, rising damp, lateral damp, falling damp should only be assessed and reported on where structural damage has occurred, is occurring, or may occur (eg. Fungal rot) significant spalling of masonry or concrete structural elements, significant fretting or mortar, rusting of primary structural elements. Stormwater drainage and surface water defects commonly cause or exacerbate foundation instability and these issues should be assessed and reported on where relevant
4. DEFECTS
- The types of defect to be considered are as described in Section 3. The presence otherwise of defects shall only be relevant when such defects relate to the structural condition of the building.

ACCESS

Buy Wise will conduct a non-invasive visual inspection which will be limited to accessible areas of the property as determined by reference to AS4349.1 which states:

The extent of accessible areas shall be determined by the inspector at the time of inspection, based on the conditions encountered at the time of the inspection. The inspector shall also determine whether sufficient space is available to allow safe access. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal.

Buy Wise Inspection will NOT involve any invasive inspection including cutting, breaking apart, digging, dismantling, removing or moving objects including, but not limited to, roofing, wall and ceiling sheeting, ducting, foliage, mouldings, debris, roof insulation, sarking, sisalation, floor or wall coverings, sidings, fixtures, floors, pavers, furnishings, appliances or personal possessions. Buy Wise Inspection also excludes the inside of walls, between floors, inside skillion roofing, inside the eaves, behind cupboards and other areas that are concealed or obstructed.

Buy Wise will only inspect those areas of the Property to which there is safe, unobstructed access in accordance with the minimum clearances set out in Table 3.2 AS4349.1-2007, or if such access is not available, areas within the inspector's unobstructed line of sight ("Reasonable Access"). Reasonable Access does not include where the use of any destructive or invasive methods are required to gain access, nor does it include where removal of heavy furniture or other heavy items or floor coverings is required.

Area	Access Manhole	Crawl Space (mm)	Height
Roof interior	400mm x 500mm	600mm x 600mm	Accessible from a 3.6m ladder
Roof exterior			Accessible from a 3.6m ladder placed on the ground

No Liability shall be accepted on account of failure of the Report to identify any problems in any areas or sections of the property physically inaccessible for inspection, or to which access for inspection is denied by or to the Inspector (including but not limited to or any areas or sections so specified in the Report).

Buy Wise highly recommended that after you receive your structural report, you attend the property with any recommended trade's people to go over all major items listed in the report, also to inspect any areas where access was not obtained at time of inspection.

The Report

- is based on the condition of the building structure at the time the Property is inspected;
- is based on a visual inspection of areas of the structure to which there is reasonable access;
- will not cover structural defects in areas to which there is not reasonable access;
- is not a guarantee in relation to the state of the structure, but is Buy Wise's professional opinion of the structural integrity of the building.

Third Parties

Buy Wise retains copyright in the Report. The Report cannot be provided, sold to or relied on by any person other than the customer without the express written consent of Buy Wise.

Buy Wise will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any person other than the Customer in connection with the use of the Report by that person for any purpose or in any way, including but not limited to the use of the Report for any purpose connected with the sale, or use of the property or the giving of security over the property, to the extent permissible by law.

Liability

The Customer releases Buy Wise from any and all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of whatever nature that the Customer may have at any time hereafter arising from the Customer's failure to remedy a defect identified during the Inspection and included in the Report.

Buy Wise holds a \$2 million Professional Indemnity insurance policy. To the extent permitted by law, Buy Wise excludes all statutory or implied conditions and warranties and any other liability it may have to the Customer (including for indirect or consequential loss) that may arise under statute or at law including without limitation or breach of contract, in tort (including negligence) or under any other cause of action. To the fullest extent permitted by law Buy Wise's liability under any condition or warranty which cannot be excluded is limited to the re-supply of the Services or refunding the cost of supplying the Services.

Disputes

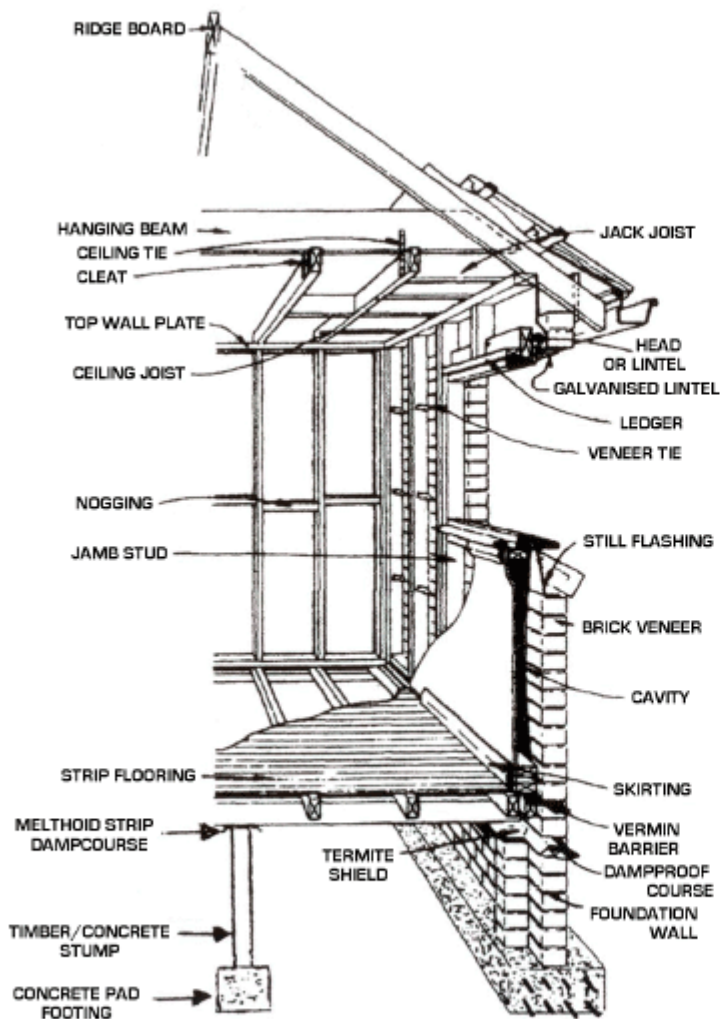
A party must not commence court proceedings (except proceedings seeking interlocutory relief) in respect of a dispute or difference of opinion between the parties regarding the construction of this agreement or the rights and obligations of the parties under this agreement unless it has complied with the following provisions.

If the parties are unable to resolve a dispute within 7 days after one party gives the other party written notice of the dispute, either party may refer the dispute to mediation by a single mediator agreed on by the parties or, failing agreement within 7 days after one party gives the other party a written notice proposing a mediator, nominated by the president of the Institute of Arbitrators and Mediators Australia at the request of either party. Each party must bear its own costs in relation to the mediation and the costs of the mediator must be borne by the parties in equal shares.

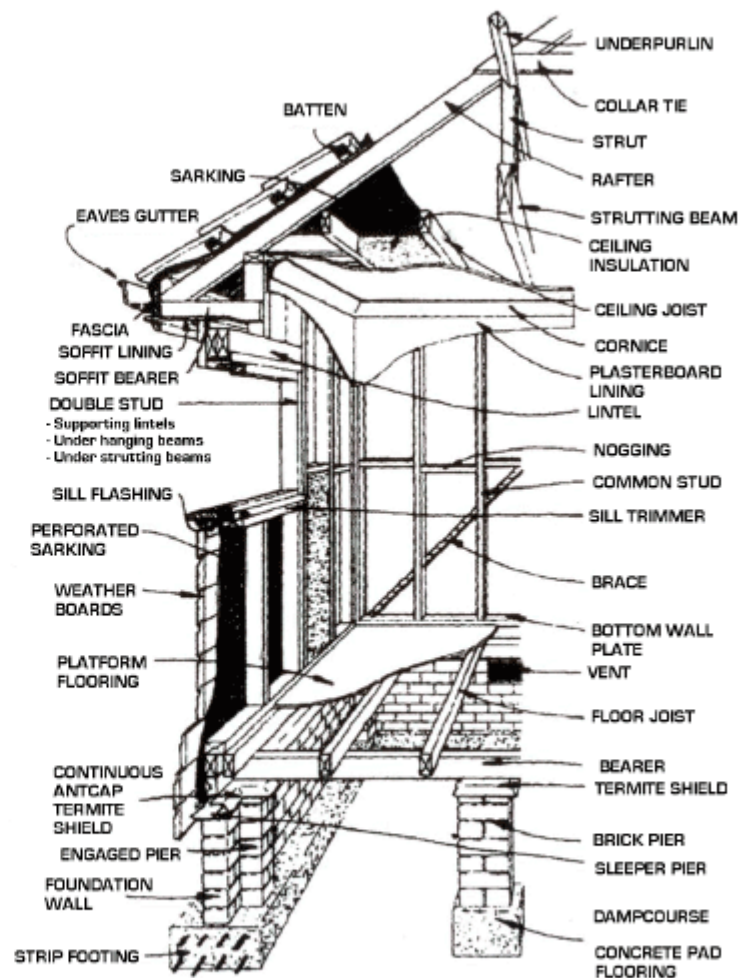
If the dispute is not resolved within 28 days after a mediator is appointed, either party may refer the dispute to arbitration by a single arbitrator agreed on by the parties or failing agreement nominated by the president of the Institute of Arbitrators and Mediators Australia at the request of a party. The arbitrator's decision will be final and binding on the parties except to the extent of any error of fact or law. Each party may appear before and make submissions to the arbitrator and may be represented by a qualified legal practitioner. Each party must bear its own costs in relation to the arbitration and the costs of the arbitrator must be borne by the parties in equal shares subject to any contrary order by the arbitrator. The arbitration will be conducted in accordance with the Commercial Arbitration Act 1984 of Victoria.

This agreement is governed by the laws of Victoria. The parties submit to the exclusive jurisdiction of the courts exercising jurisdiction there.

Building Terms



BRICK VENEER



**WEATHERBOARD WITH
BRICK FOOTING**

