



Buy-Wise Inspection Services P/L

SPECIAL PURPOSE INSPECTION REPORT

PRE SALE INSPECTION



Inspected Property Address:	Albert Park		
Client Details:	Name: Sample Report		
	Address:		
	Phone:	Mobile:	
	Email:		
	Client Attended Inspection: Yes		Contract Details: N/A
Inspection Date & Time:	Thursday, 31 March 2011 1:00:00 PM		
Building Consultant:	Peter Hearn DB-U12617	Phone: 9775 7188	
Agent:			Phone:

This report may not be provided to or relied on by any person other than the client named above without the consent of Buywise.

PROPERTY DETAILS:

Building Type:	Residential House
Description:	Double Storey, 20-25 Squares of living, Garage, Verandah, Deck
Estimated Age:	6 years old
Foundation Type:	Concrete Strip Foundations, Concrete stumps
Floor Coverings:	Polished hardwood floor boards
Walls Internal:	Plaster
Walls External:	Painted weatherboard, Brick veneer
Windows:	Timber awning
Roof:	Corrugated iron
Slope of Land:	Flat
Furniture:	Yes
Weather Condition:	Fine
Recent Weather Condition:	Slightly wet

ANY SPECIAL REQUIREMENTS REQUESTED BY CLIENT/REPRESENTATIVE REGARDING THE INSPECTION AND REPORT

Would like a full Building Inspection on property please before we sell

Inspectors Response: See report for all details

SUMMARY:

The areas inspected were structures and fences within 30 meters of the main building and within the boundaries of the site.

This report which was prepared in accordance with the Australian Standard AS 4349.1 2007 Inspection of Buildings Part 1 is not a certificate of compliance of the property and is not a warranty against problems developing with the building in the future.

The purpose of this inspection is to provide advice regarding the condition of the property at the time of inspection from a visual inspection. This inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the condition of the property at the time of inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix C AS4349.1-2007.

This summary must be read in conjunction with the full report and cannot be relied on its own. Some areas of concern are listed below and recommendations regarding the property.

This report does not include the identification of unauthorized building work or work not compliant with building regulations.

Most aspects of the residence are in good condition with some maintenance and repairs required

In my opinion the dwelling appears structurally sound at the time of inspection from a visual inspection but should only be reported on by a structural engineer

Minor movement was noted to internal ceilings in areas at time of inspection

Minor movement was noted to internal walls in areas at time of inspection

No movement was noted to external walls at time of inspection

The incidence of movement at time of inspection to internal/external walls compared to other dwellings of similar age and type of construction is considered LOW. This does not mean that further movement will not occur in the future

The property has been well maintained internally over the years

Most of the maintenance and repairs required are to the external areas of the dwelling

The incidence of Minor Defects in this residential building as compared with similar buildings is considered LOW

The incidence of Major Defects in this residential building as compared with similar buildings is considered AVERAGE

A comparison of this and other dwellings of similar age, construction and level of maintenance which is in reasonable condition having been adequately maintained over the life of the building would rate this building as AVERAGE condition.

The amount of ongoing external maintenance required for this dwelling compared with others of around the same age is about AVERAGE

Some safety items are listed in this report but can not be totally relied upon regarding all safety requirements

AREAS NOT INSPECTED:

No access possible to under floor space, no man hole or trap door provided, access should be obtained prior to purchase for this area to be inspected

OTHER INSPECTIONS & REPORTS RECOMMENDED:

It is strongly recommended that the following Inspections and Reports be obtained.

- ☐ Airconditioning inspection
- ☐ Alarm/Intercom/Data Systems
- ☐ Appliance Inspection
- ☐ Asbestos Inspection
- ☐ Common Property Inspection
- ☐ Council Inspection
- ☐ Drainage Inspection
- ☐ Durability of Exposed Surfaces
- ☐ Electrical Inspection
- ☐ Estimating Inspection
- ☐ Fire/Chimney Inspection
- ☐ Foundation Inspection
- ☐ Garage Door Mechanical
- ☐ Gasfitting Inspection
- ☐ Geotechnical Inspection
- ☐ Hazards Inspection
- ☐ Hydraulics Inspection
- ☐ Mechanical Inspection
- ☐ Mould Inspection
- ☐ Plumbing Inspection
- ☐ Roof Inspection (due to limited access)
- ☐ Roof inspection, (due to no access)
- ☐ Structural (Engineer)
- ☐ Sub Floor (due to access being restricted)
- ☒ Sub Floor (due to no access)
- ☐ Swimming Pool or Spa Inspection
- ☒ Timber Pest Inspection
- ☐ Foundation (stump) Inspection

Master Bedroom

Floors

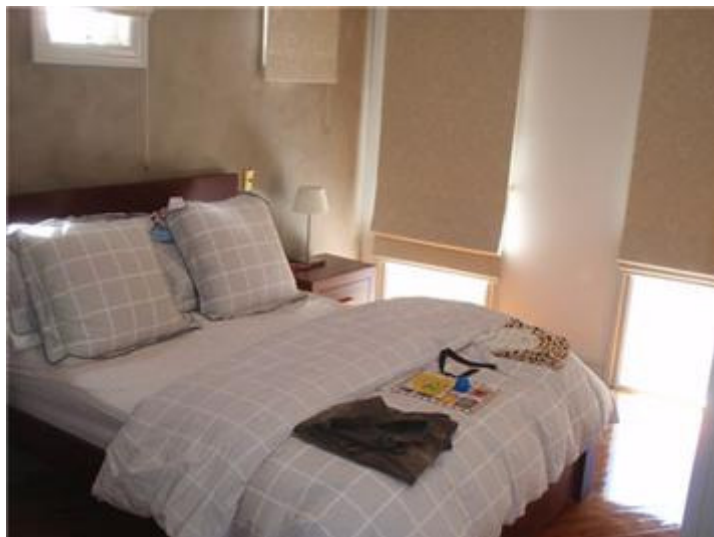
Polished hardwood floor boards

Large gaps between floor boards and is due to timber shrinkage over time, if to be filled then with a flexible sealant as flooring may expand back over time
Direct sunlight causes shrinkage to flooring



Comments

All appears to be in good condition with little to no maintenance required



Bedroom 2

Comments

All appears to be in good condition with little to no maintenance required



Bedroom 3

Comments

All appears to be in good condition with little to no maintenance required



Bedroom 4

Comments

All appears to be in good condition with little to no maintenance required

Play room

Comments	All appears to be in good condition with little maintenance required
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Study

Comments	All appears to be in good condition with little to no maintenance required
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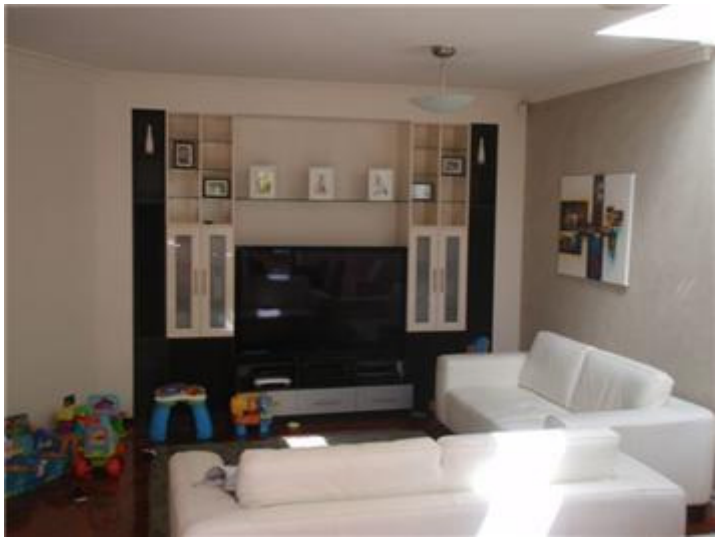


Lounge

Ceilings	Plaster	Cornice is open at internal joins and is due to the timber frame shrinkage over time, this is quite common and once filled with a flexible material usually dont return
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Comments All appears to be in good condition with little to no maintenance required



Meals

Ceilings	Plaster	Minor movement noted between plaster sheets at join, minor repairs required and is unknown if they will return
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Comments All appears to be in good condition with little to no maintenance required

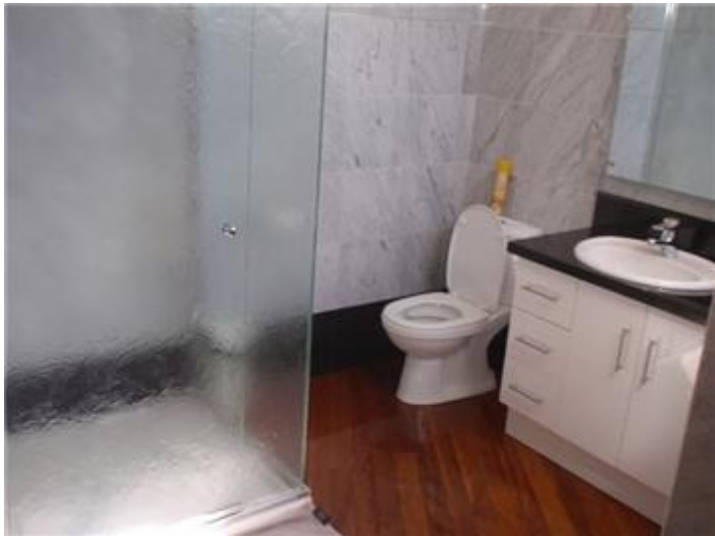


Ensuite

Shower Screen	Glass pivot door and panel	Some water was noted on floor next to shower base, further investigation is required to see if there are leaks present
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Comments	All appears to be in good condition with little to no maintenance required
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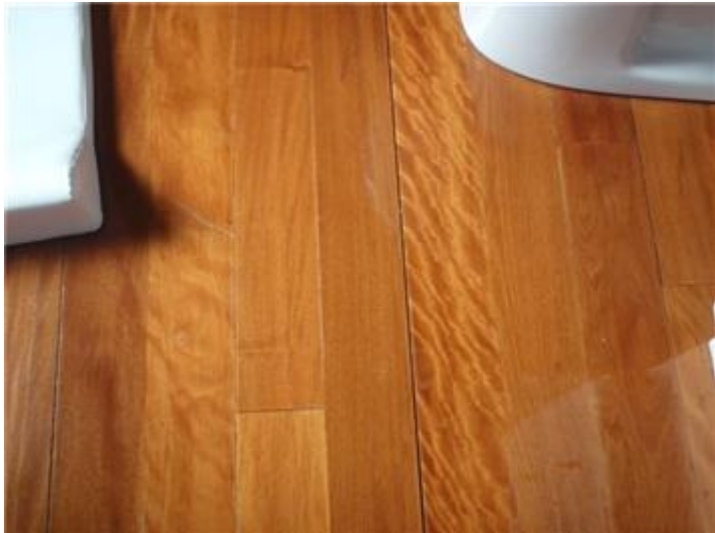
Ensuite 2

Comments	All appears to be in good condition with little to no maintenance required
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Bathroom

Floors	Polished hardwood floor boards	Large gaps between floor boards and is due to timber shrinkage over time, if to be filled then with a flexible sealant as flooring may expand back over time Direct sunlight causes boards to shrink more than usual taking all the moisture out of timbers
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Comments	All appears to be in good condition with little to no maintenance required
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Kitchen

Comments	All appears to be in good condition with little to no maintenance required
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Laundry

Tub/Sink	Stainless steel trough	Not fixed to bench properly Tiles should be installed to wall above bench
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Comments	All appears in good condition with little maintenance required
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Services

Drainage	Surface drainage, Underground pipes	The retention of water from surface run off could have an affect on the foundation material which in turn could affect the footings to the dwelling. Best practice is to monitor the
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flow of surface water and stormwater run off and have the water directed away from the dwelling or to storm water pipes by a licensed plumber/drainier.

Unable to comment on storm water or sewer pipes under ground, a licensed plumber can only report on these areas



Electrical	Residual current device (safety switch) and circuit breakers provided to fuse box	A licensed electrician can only report on all electrical services Safety switch protecting power points and lighting circuits only



Under Floor Space

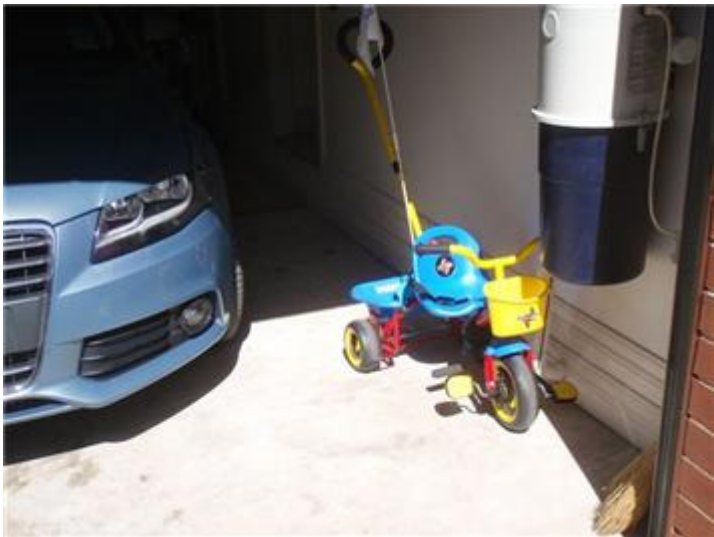
Ant Capping	Metal	Ant caps will not stop termites gaining access to timbers but will make them more noticeable from a termite inspection
Stumps	Concrete	Not all stumps were visible due to restrictions No access was possible to sub floor space



Timbers	Hardwood bearers and joists, Hardwood floorboards	<p>Not all timbers were visible at time of inspection</p> <p>All flooring is fixed directly to floor joists so excess moisture to ground for long periods will cup floor boards slightly</p> <p>Timber bearers in some areas are too close to the ground, dirt should be remove to create additional clearance for maintenance and inspections Cost \$2000-\$3000</p> <p>This will increase to cross flow ventilation when additional vents and increasing to front gap is increased</p> <p>Dirt should be removed when back tiled landing is removed, 200mm should be adequate so creating 400mm from ground to under side of bearer</p> <p>Ducting should not restrict air flow as much when soil is removed</p>
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Ventilation	Gaps between base boards under weatherboards	<p>Ground was damp to most areas and requires attention</p> <p>Evidence of fungal decay was noted on ground, ventilation should be improved to external walls as this can be a health issue</p> <p>Better ventilation required to all external walls by adding vents to wall between dwelling and garage and back dividing boundary wall Cost \$400</p> <p>Gap at front between base boards should be increased to three times the size, as much as possible Cost \$400</p> <p>Ducting is restricting air flow to most areas of sub floor</p> <p>Removing soil so clearance is 400mm will help a lot</p> <p>The only ventilation to half of floor space is through the back trap door</p> <p>We have experienced higher than average rain fall over the last 6 months, once all these recommendations are done and we do experience flooding again then ground will dry out a lot quicker and not be such a health issue</p> <p>Floor boards should not alter in size as much as well</p>
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Comments	No access to sub floor area was possible due to limited clearance We strongly recommend that access be gained to all inaccessible areas
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External Appraisal

Roof coverings	Corrugated iron roofing	A gap was noted between flashings and require attention by plumber All appears to be in good condition with little to no maintenance required It is possible that top ends of roof sheets are not weathered (turned up under top flashing) and rain is running over tops of corrugated iron, it may pay to remove this flashing when weather boards are being replaced and check
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**Walls**

Weatherboard, Brick

Rot noted to weather boards at back and will require replacing

Rot noted to ends of these weather boards, this is common as ends of weather boards are probably not sealed, recommend painting all ends of new boards before installed

There are gaps between verandah roof flashings and window sills, in my opinion windows are slightly to low and a window sill flashing should have been installed that goes over roof flashing

There is also a gap between timber fascia and top weather board, when boards are replaced there should be no gap for water to enter

Once weather boards are replaced properly and with correct flashings then there should be no leaks

Windows may require additional flashings at sides and

under sill

Weather boards on boundary wall require painting

No movement was noted to external brick walls at time of inspection and does not mean that movement will not occur in the future

Where drainage or gutter/downpipe problems exist around a dwelling, these can have an affect on the dwellings foundations due to changing soil conditions

Hole around pipe at back requires filling



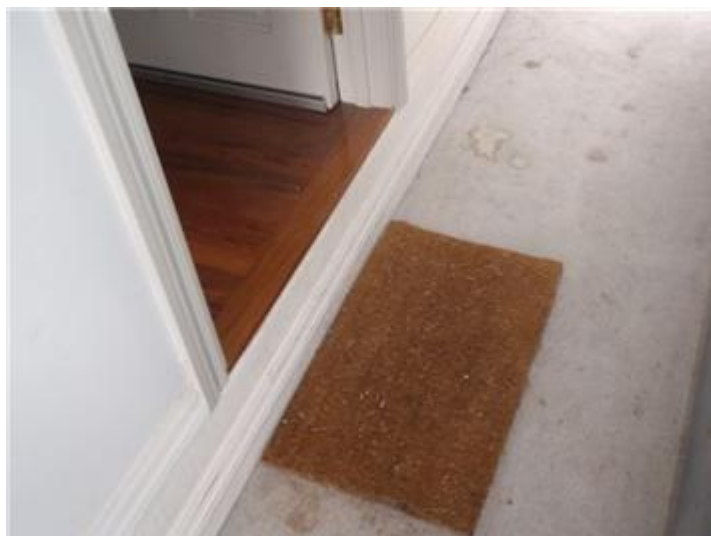


General Exterior

Patio	Tiled	Landing at back is in poor condition, timbers are in contact with the ground Better ventilation should be incorporated with new deck Soil from sub floor should be removed when landing is removed
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Stairs	Timber steps	Step does not comply to current regulations as tread size is under 240mm in length, this should be rectified for safety reasons Step required in garage as height is over 190mm current height requirements, this should be rectified for safety reasons
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Garage

Comments

All appears to be in good condition with little to no maintenance required



Thank you for selecting our firm to do your special purpose home inspection. Please feel free to contact the inspector who carried out the inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report on 9775 7188.

Yours sincerely,

A handwritten signature in black ink, which appears to read "Peter Hearn".

Peter Hearn
Director
Buy-Wise Inspections