



Buy-Wise Pre Purchase Building & Pest Inspections P/L

BUILDING INSPECTION REPORT



Inspected Property Address:		
Client Details:	Name: Sample 2	
	Address:	
	Phone:	Mobile:
	Email:	
	Client Attended Inspection: No	Contract Details: No Contract
Inspection Date & Time:	Tuesday, 28 April 2015 12:45:00 PM	
Building Consultant:	Peter Hearn DB-U12617	Phone: 9775 7188
Agent:	None	Phone:

This report may not be provided to or relied on by any person other than the client named above without the consent of Buywise.

PROPERTY DETAILS:

Building Type:	Residential House
Description:	Single Storey, Addition, 10 Squares of living, Pergola, Garage, Deck
Estimated Age:	60 years old
Foundation Type:	Timber stumps, Concrete stumps
Walls External:	Vinyl cladding over Cement sheet
Roof:	Corrugated iron
Furniture:	Yes
Weather Condition:	Overcast

ANY SPECIAL REQUIREMENTS REQUESTED BY CLIENT/REPRESENTATIVE REGARDING THE INSPECTION AND REPORT

No

SUMMARY:

The areas inspected were structures and fences within 30 meters of the main building or within the boundaries of the site.

This report which was prepared in accordance with the Australian Standard AS 4349.1 2007 Inspection of Buildings Part 1 is not a certificate of compliance of the property and is not a warranty against problems developing with the building in the future.

The purpose of this inspection is to provide advice regarding the condition of the property at the time of inspection from a visual inspection. This inspection comprised a visual assessment of the property to identify Major Structural defects and to form an opinion regarding the condition of the property at the time of inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix C AS4349.1-2007.

Minor defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering and general deterioration, unevenness. It is expected that defects of this type would be rectified as part of normal ongoing property maintenance.

If any estimates are provided by Buy-Wise of the costs of works or repairs, then these are merely opinions that are not required by the Australian Standard 4349.1 2007 inspection of buildings and should be taken as a general guide only. The client should obtain independent quotations on any significant item from several contractors prior to purchasing the inspected property.

This summary must be read in conjunction with the full report and cannot be relied on its own. Some areas of concern are listed below and recommendations regarding the property.

This report does not include the identification of unauthorized building work or work not compliant with current building regulations. Building regulations are updated regularly so it is important to investigate all aspects of the dwelling, so you are well informed even if dwelling is in its original state since constructed.

All electrical and gas appliances should be tested just before you gain possession during your final inspection of the property to ascertain if are still operating. All appliances should be serviced annually.

Most aspects of the residence are in fair condition with a lot of maintenance and repairs required to bring up to a good standard

Some repairs are required to improve the structural integrity of the building and should be investigated further

Some movement was noted to internal and external walls that should be checked by a structural engineer to determine if a defect exists to foundations and the likelihood of further movement

Poor drainage near dwelling and large trees with in 50 meters can cause problems to the soil under foundations and continue to do so for many years. The ground around foundations should slope away from dwelling and moisture content of soil unchanged through all seasons.

Floor levels were uneven in areas

Some re stumping will need to be performed to improve the structural integrity of the dwelling

The property has not been well maintained over the years

Most of the maintenance and repairs required are to the external areas of the dwelling

A comparison of this and other dwellings of similar age, construction and level of maintenance which is in reasonable condition having been adequately maintained over the life of the building would rate this building as BELOW AVERAGE condition.

Some safety items are listed in this report but can not be totally relied upon regarding all safety requirements

Alterations have been made to the dwelling since it was constructed

Additions have been performed to the dwelling since it was constructed and should be checked with your local council to ascertain if a permit was issued

External additions have been built to the dwelling since it was constructed and should be checked with your local council to ascertain if a permit was required.

We are unable to confirm that final approvals have been issued for any additions or improvements on the property. The status of such approvals should be established at the appropriate local authority.

There was no active termite barrier to stop termites from entering the dwelling, there are a number of conditions conducive to termite attack so this is highly recommended when you gain possession

AREAS NOT INSPECTED:

AREAS NOT ACCESSIBLE FOR INSPECTION WERE: No Inspection was made of concealed frame timbers or any areas concealed by wall linings/ sidings, soil, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/ posts or any other obstructions to visual inspection.

Limited access to under floor space in areas due to low clearance, well under 250 mm in height, soil will require removal if these areas are to be inspected and should be done before purchase

Limited access in roof space due to low clearance, area was not thoroughly inspected

OTHER INSPECTIONS & REPORTS RECOMMENDED BEFORE PURCHASE:

It is strongly recommended that the following Inspections and Reports be obtained prior to any decision to purchase the property, so that the purchaser can be well equipped to make an informed decision. These Inspections and Reports fall outside the guidelines for a Standard Property Report as specified in AS4349.1-2007 and are excluded from this report.

- ☐ Airconditioning inspection

☐ Asbestos Inspection

☐ Drainage Inspection

☐ Estimating Inspection

☐ Garage Door Mechanical

☐ Hazards Inspection

☐ Mould Inspection

☐ Roof inspection, (due to no access)

☐ Sub Floor (due to no access)

☐ Waterproofing/wet area inspection
- ☐ Alarm/Intercom/Data Systems

☐ Common Property Inspection

☐ Durability of Exposed Surfaces

☐ Fire/Chimney Inspection

☐ Gasfitting Inspection

☐ Hydraulics Inspection

☒ Plumbing Inspection

☒ Structural (Engineer)

☐ Swimming Pool or Spa Inspection

☒ Re stumper
- ☐ Appliance Inspection

☒ Council Inspection

☒ Electrical Inspection

☐ Foundation Inspection

☐ Geotechnical Inspection (soil report)

☐ Mechanical Inspection

☐ Roof Inspection (due to limited access)

☐ Sub Floor (due to access being restricted)

☐ Timber Pest Inspection

INSPECTION DETAILS

Entry/ Hallway

Comments

Smoke detection is fitted, however the positioning, operation or adequacy was not tested and is not commented on



Master Bedroom

Doors

Large gap between top of door and door jamb and is due to movement, this area may require extra support then door adjusted



Windows

Repairs required to window due to rot \$600



Comments All appears to be in fair condition with some maintenance required



Bedroom 2

Windows Repairs required to window due to rot \$600



Comments All appears to be in fair condition with some maintenance required



Study

Ceilings Cement sheeting that contains asbestos
All cement sheeting containing asbestos should be well sealed, it appears to be well painted



Comments All appears to be in fair to good condition with some maintenance required



Lounge

Floors Floor level is uneven and out of level, refer to under floor space comments

Comments All appears to be in fair to good condition with some maintenance required

 This room has been altered since being built, may require further investigation
 Support to roof has been removed where addition starts, Major Structural Defect
 Repairs are required
 See roof structure comments



Meals

Floors	Floor level is uneven and out of level, refer to under floor space comments
Comments	All appears to be in fair to good condition with some maintenance required This room is an addition and not part of the original construction



Bathroom

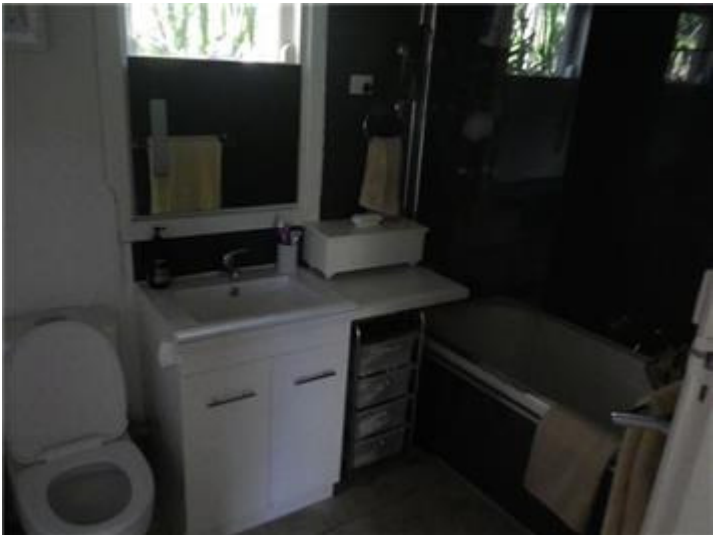
Floors	Missing floor tiles noted
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- Wall tiles

High moisture recorded behind bottom row of tiles of shower, this is a very common problem and can cause tiles to dislodge from wall over time and depends on what tile adhesive was used and how well applied
Tiles and grout should be well dried and then sealed in shower, this is to manufactures recommendations. The sealer is clear and can not be seen once dry
- Comments

All appears to be in fair condition with some maintenance required



Kitchen

- Comments

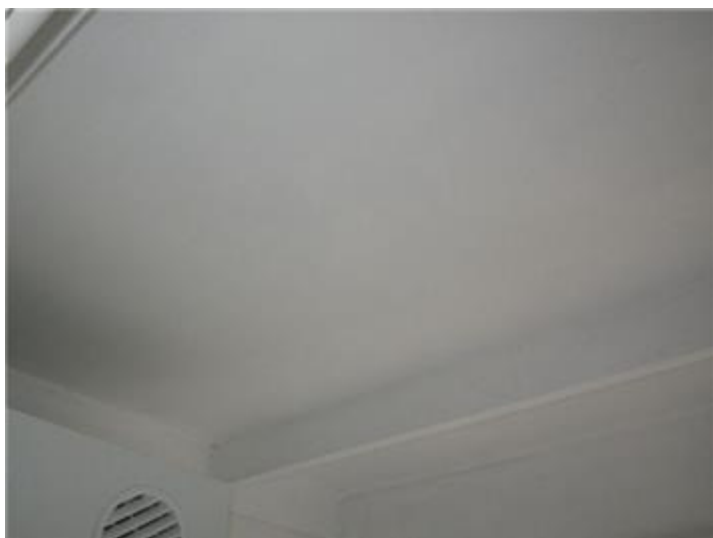
All appears to be in fair to good condition with some maintenance required
This room is an addition and not part of the original construction



Laundry

- Ceilings

All cement sheeting containing asbestos should be well sealed, it appears to be well painted



Comments All appears to be in fair to good condition with some maintenance required



Roof Space

Insulation Blow-in insulation on ceilings
The insulation cover over ceilings is a minimum of 2.0 R rating insulation
If 12 volt down lights are to be installed to ceilings then it is a current council requirement that a surround be fitted and 200mm clear of all combustible material, insulation and other materials can smoulder due to the intense heat from the down light if to close



Sisalation/Sarking None noted, condensation has been dripping in insulation
Recommend installing sisalation under roofing, roofing will require removing to do this



Type of roof structure

Conventional pitched hardwood roof

Support has been removed between lounge and kitchen causing roof to dip Major Structural Defect

A beam is required either in roof space when roofing is lifted or installed under ceiling Cost \$3000-\$4000

Proper quote is required

Alterations have been made to install heater flue, rafters are supported off ceiling joists which is not recommended

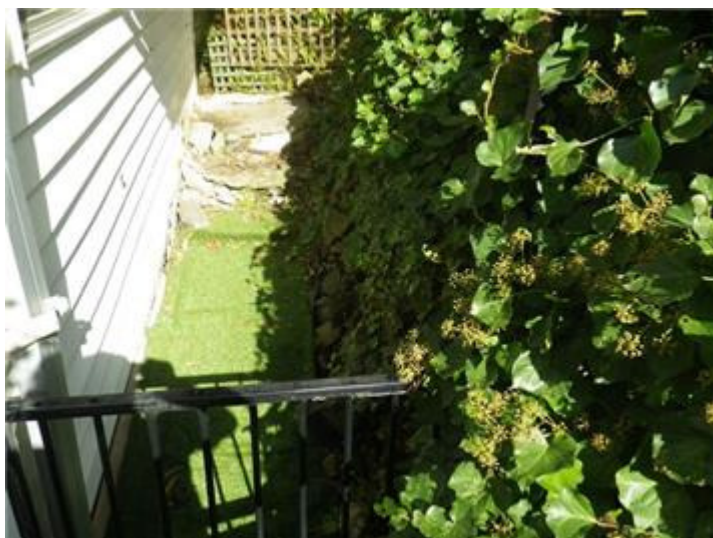
**Services**

Drainage

Surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate

The retention of water from surface run off could have an affect on the foundation material which in turn could affect the footings to the dwelling. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the dwelling or to storm water pipes by a licensed plumber/drainier.

Unable to comment on storm water or sewer pipes under ground, a licensed plumber can only report on these areas.



Electrical

A licensed electrician can only report on all electrical services
 Safety switch protecting all circuits, as noted on switch board
 Electrician to comment on if dwelling is earthed properly
 Some old wiring noted to under floor space, electrician to evaluate further

Loose wires noted in roof space



Gas service

Pipes appeared serviceable and can only be reported by a licensed plumber or gas fitter
 Some rust may be present to gal gas pipes as they are in contact with the ground in areas

**Hot Water Service**

A licensed plumber and electrician can and should only report on hot water services

Working at time of inspection but no comment is noted on operating condition

Hot water unit is near the end of its life span as it is over 10 years old, may only last another year or a possible 5 years longer

**Water pipes**

A licensed plumber can and should only report on water pipes

Galvanized water pipes have been used for many years but rarely used in the last 25 years, pipes rust internally causing blockages and discolouration of water. The cost to replace them with copper or poly pipes can be rather expensive if they require replacement from internal walls as wall linings will have to be removed for access. If you are concerned about the presence of gal then a licensed plumber should evaluate further

Under Floor Space

Ant Capping

Ant caps will not stop termites gaining access to timbers but will make them more noticeable from a termite inspection

Stumps

Rot was noted to timber stumps under the existing dwelling Major Structural Defect

The condition of the timber stumps will vary from poor to fair due to the amount of rot caused from moisture that has been around them over the years

Recommend replacing all timber stumps Cost \$7000

Proper quote to be obtained

The concrete stumps appear to be in good condition from a visual inspection and floor levels were fairly consistent

Some settlement has occurred to concrete stumps in areas, this is quite normal for a house of this age and type of construction but should be monitored



Timbers

Not all timbers were visible at time of inspection due to access

Rot noted to timber bearer under front door, requires repairs \$1000



Ventilation

Ground was dry at time of inspection, ventilation appears adequate but may change from summer to winter and should be evaluated every 6 months

Comments

Cement sheet that contains asbestos noted to sub floor area that is broken and should be removed for safety reasons



External Appraisal

Downpipes

Rust noted at front and should be replaced



Fascia/Barge boards

Eaves are cement sheet and contain asbestos, some repairs required or replaced as sections are broken and is a health risk



Gutters

Gutters require cleaning, this will prevent rust and will last longer
Rust noted in areas, surface rust noted in others



Painting

Painting required to most external timbers to protect them from further deterioration



Roof Coverings

Roofing is in fair to poor condition

Roof sheets are nailed down and are lifting in areas, should be replaced with screws

Surface rust noted in areas and will need protecting to stop further deterioration

Unknown if the roofing is to requirements regarding correct roof pitch, further investigation is recommended.

Joins noted in areas

Roof sheets have been put with turn up and siliconed together, poor installation Major Defect

Recommend removing roofing and install sisalation paper and re install with screws Cost \$3000

Or replace with a metal tray roofing Cost \$15,000

Plumber to advise and quote



Walls

Vinyl cladding has been installed over cement sheeting that would most likely contain asbestos
Broken sections could be seen at bottom of walls and is a health risk



General Exterior

Decks

All appears to be in good condition with little to no maintenance required



Fences

Requires replacing at right side due to rot

Left side wall is a safety concern and requires removal



Pergola

Unknown if the roofing is to requirements regarding correct roof pitch, further investigation is recommended.
Water from roofing runs down to house gutter, this is increasing the catchment area for house gutters and may overflow in heavy rain



Retaining Walls

A few more treated pine walls are required in areas



Garage

Comments Unable to enter, locked at time of inspection and no key provided



DEFINITIONS:

A Major Defect is a defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

A Structural Defect is a fault or deviation from the intended structural performance of a building element.

Minor Defects: A defect other than a major defect

Defect: Fault or deviation from the intended condition of a material, assembly or component

Structural Element: Physically distinguishable part of a structure

Example - wall, column, beam, support, connection

Building Element: Portion of a building that, by itself or in combination with other parts, fulfils a characteristic function

Example - Supporting, enclosing, furnishing or servicing building space

Thank you for selecting our firm to do your pre-purchase home inspection. Please feel free to contact the inspector who carried out the inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report on 9775 7188.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Peter Hearn'.

Peter Hearn
Director
Buy-Wise Inspections

IMPORTANT ADVICE, INFORMATION & LIMITATIONS

ASBESTOS DISCLAIMER: Inspection of asbestos was not carried out at the property and a report of the presence or absence of asbestos is not provided. If during the course of the inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the general remarks section of the report. Buildings constructed prior to 1982 may have installed wall, ceiling, eaves, roofings and or fence sheeting and other products containing asbestos. Even buildings built up until the early 90's may contain some asbestos. Asbestos sheeting should be sealed.

If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and the importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing asbestos is a high risk to people's health. You should seek advice from a qualified asbestos removal expert.

GLASS CAUTION: Glazing in some buildings (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panels in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

Mould (Mildew and Non-Wood Decay Fungi) Disclaimer: Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the time of inspection and no report on the presence or absence of Mould is provided. If in the course of the Inspection, Mould happened to be noticed it may be noted in the Additional Comments section of the report. If Mould is present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or qualified expert such as an Industry Hygienist.

Trees:Where trees are too close to the house this could affect the performance of the foundation as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

Surface Water Drainage:The retention of water from surface run off could have an effect on the ground which in turn could affect the foundations of the dwelling. Best practice is to monitor the flow of surface water and storm water run off and have the water directed away from the dwelling or connected to storm water pipes by a licensed plumber/drainier.

Swimming Pools:Swimming Pools/Spas are not part of the Standard Building Report under AS 4349.1-2007 and are not covered by this report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in fines for non compliance under the legislation.

Septic Tanks and Treatment Plants:All Septic Tank Sewer Systems and Treatment Plants should be inspected by a licensed plumber as this is not reported on in this Inspection Report.

Estimating Disclaimer:Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

Buy-Wise Pre Purchase Building & Pest Inspections Pty Ltd (ACN 113 603 928) ("Buy-Wise")

BASIS OF BUILDING INSPECTION REPORT

The Customer engages Buy-Wise to perform a visual Standard Property Inspection in accordance with Australian Standard AS4349.1 - 2007 Property Inspections - Residential Buildings ("Inspection") and to provide a written report ("Report") to the Customer ("Services"). The purpose of the Inspection and Report is to identify any major structural defects in the building which are apparent at the time of the inspection. Should the Customer's contract of sale allow them to withdraw from the contract on the basis of a defect to a standard lesser than a major structural defect they must notify Buy-Wise accordingly.

Unless otherwise expressly agreed, the Inspection and Report shall only be conducted to identify and describe the general nature of minor defects and are not to be relied upon as a comprehensive assessment or list of minor defects.

If the Customer purchases the property Buy-Wise recommends yearly inspections be carried out on the property to observe any changes to the dwelling due to wear and tear or movement (cracking) due to changing weather conditions.

It is highly recommended that after you receive your building report you attend the property with any recommended trade's people and to go over all minor/major items listed in the report, also to inspect any areas where access was not obtained at time of inspection.

The Inspection shall be conducted and the Report prepared on the following basis:

Building Inspection

The Inspection will NOT involve any invasive inspection including cutting, breaking apart, digging, dismantling, removing or moving objects including, but not limited to, roofing, wall and ceiling sheeting, ducting, foliage, mouldings, debris, roof insulation, sarking, sisalation, floor or wall coverings, sidings, fixtures, floors, pavers, furnishings, appliances or personal possessions.

The Inspection excludes the inside of walls, between floors, inside skillion roofing, inside the eaves, behind cupboards and other areas that are concealed or obstructed.

The services do NOT extend to the investigation of, or reporting upon:

- Electrical wiring and fittings, except for checking that lights are working (if power is available at time of inspection) and whether any safety protection is provided or required and, if so, the type of protection which is provided or required;
- The operation or condition of appliances such as ovens, dishwashers, heaters and air conditioners.
- Plumbing works (such as any breakage, blockage or interference with pipes);
- Fireplaces, chimneys and smoke detectors (apart from noting the presence or absence of smoke detectors);
- Pests (such as termites);
- Swimming pools, spas and associated equipment, apart from any apparent safety issues;
- Boundary surveys (such as for encroachments);
- Council or other statutory requirements (such as whether the proper planning or building approvals have been obtained, other planning issues such as heritage restrictions and whether pool fences and gates comply with the regulations);
- Health and safety issues including the presence of asbestos or lead; or
- Other matters which should be the subject of a Special Purpose Property Report as defined in the Australian Standard (such as common property areas; environmental concerns such as sunlight, privacy, streetscape and views; proximity of property to flight paths, railways and busy traffic or other neighbourhood issues; noise levels; security or fire protection; analysis of site drainage apart from surface water drainage and neighbourhood usage which may be a nuisance).

However, if any such issues are identified incidentally during the Inspection a note will be made in the Report. If the Customer has any concerns about any of the areas excluded from the scope of the Services Buy-Wise recommends that the Customer engage a qualified specialist in the relevant area.

Access

Buy-Wise will conduct a non-invasive visual inspection which will be limited to accessible areas of the property as determined by reference to AS4349.1 which states:

The extent of accessible areas shall be determined by the inspector at the time of inspection, based on the conditions encountered at the time of the inspection. The inspector shall also determine whether sufficient space is available to allow safe access. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal.

Buy-Wise will only inspect those areas of the Property to which there is safe, unobstructed access in accordance with the minimum clearances set out in Table 1, or if such access is not available, areas within the inspector's unobstructed line of sight ("Reasonable Access"). Reasonable Access does not include where the use of any destructive or invasive methods are required to gain access, nor does it include where removal of heavy furniture or other heavy items or floor coverings is required.

Area	Access Manhole	Crawl Space (mm)	Height
Roof interior	500 x 400	600 x 600	Accessible from a 3.6m ladder
Roof exterior			Accessible from a 3.6m ladder

No Liability shall be accepted on account of failure of the Report to identify any problems in any areas or sections of the property physically inaccessible for inspection, or to which access for inspection is denied by or to the Inspector (including but not limited to or any areas or sections so specified in the Report).

The Report

- is based on the condition of the Property at the time the Property is inspected;
- is based on a visual inspection of areas of the Property to which there is Reasonable Access;
- will not cover defects in areas to which there is not Reasonable Access;
- is not a guarantee in relation to the state of the Property, but is Buy-Wise's professional opinion of the Property's condition.

Third Parties

Buy-Wise retains copyright in the Report. The Report cannot be provided, sold to or relied on by any person other than the customer without the express written consent of Buy-Wise.

Buy-Wise will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any person other than the Customer in connection with the use of the Report by that person for any purpose or in any way, including but not limited to the use of the Report for any purpose connected with the sale, or use of the property or the giving of security over the property, to the extent permissible by law.

Liability

The Customer releases Buy-Wise from any and all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of whatever nature that the Customer may have at anytime hereafter arising from the Customer's failure to remedy a defect identified during the Inspection and included in the Report.

Buy-Wise holds a \$2 million Professional Indemnity insurance policy. To the extent permitted by law, Buy-Wise excludes all statutory or implied conditions and warranties and any other liability it may have to the Customer (including for indirect or consequential loss) that may arise under statute or at law including without limitation or breach of contract, in tort (including negligence) or under any other cause of action. To the fullest extent permitted by law Buy-Wise's liability under any condition or warranty which cannot be excluded is limited to the re-supply of the Services or refunding the cost of supplying the Services.

Disputes

A party must not commence court proceedings (except proceedings seeking interlocutory relief) in respect of a dispute or difference of opinion between the parties regarding the construction of this agreement or the rights and obligations of the parties under this agreement unless it has complied with the following provisions.

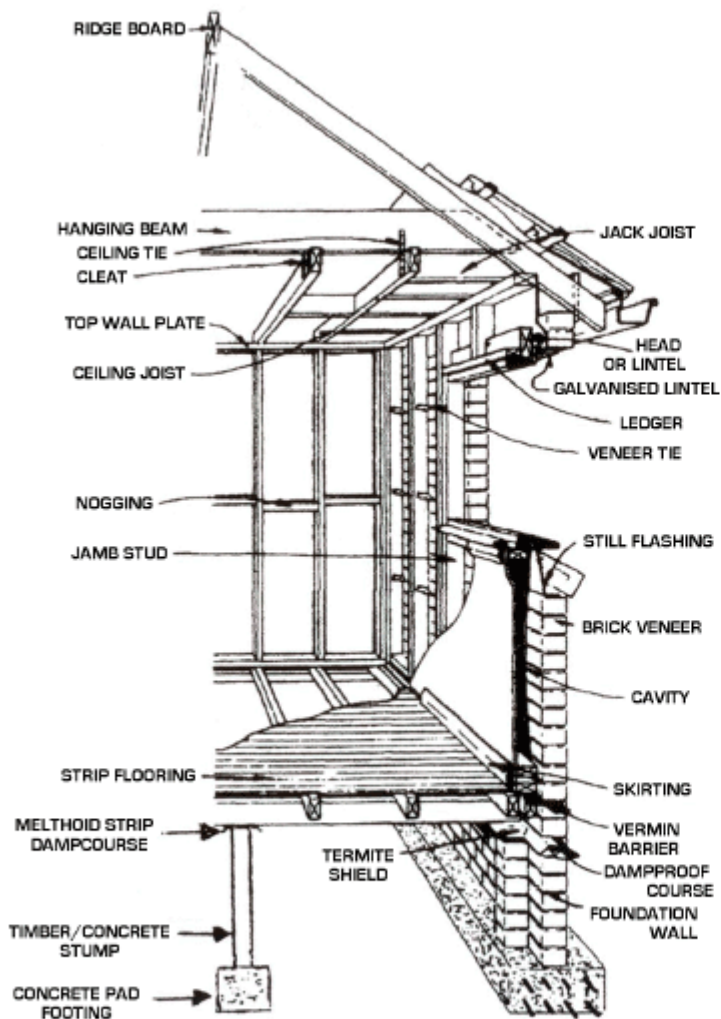
If the parties are unable to resolve a dispute within 7 days after one party gives the other party written notice of the dispute, either party may refer the dispute to mediation by a single mediator agreed on by the parties or, failing agreement within 7 days after one party gives the other party a written notice proposing a mediator, nominated by the president of the Institute of Arbitrators and Mediators Australia at the request of either party. Each party must bear its own costs in relation to the mediation and the costs of the mediator must be borne by the parties in equal shares.

If the dispute is not resolved within 28 days after a mediator is appointed, either party may refer the dispute to arbitration by a single arbitrator agreed on by the parties or failing agreement

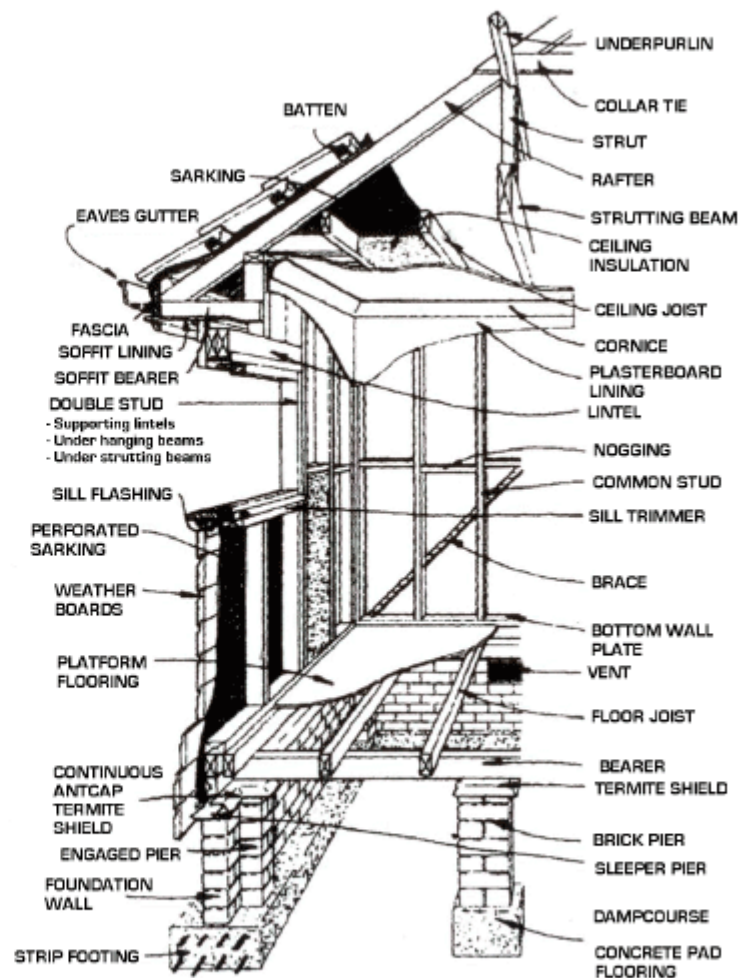
nominated by the president of the Institute of Arbitrators and Mediators Australia at the request of a party. The arbitrator's decision will be final and binding on the parties except to the extent of any error of fact or law. Each party may appear before and make submissions to the arbitrator and may be represented by a qualified legal practitioner. Each party must bear its own costs in relation to the arbitration and the costs of the arbitrator must be borne by the parties in equal shares subject to any contrary order by the arbitrator. The arbitration will be conducted in accordance with the Commercial Arbitration Act 1984 of Victoria.

This agreement is governed by the laws of Victoria. The parties submit to the exclusive jurisdiction of the courts exercising jurisdiction there.

Building Terms



BRICK VENEER



**WEATHERBOARD WITH
BRICK FOOTING**

